

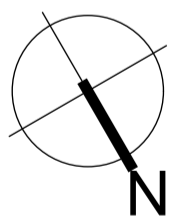
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30/04/2025



Client
Tracy Norman

Project
**28 The Esplanade
North Arm Cove**

Drawing Title
Cover Page & Overall Site Plan

Job Number	Drawing Number	Issue
461	DA00	01

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01	Issue for Information	30/04/2025
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0/04/2025



Client

Tracy Norman

Project

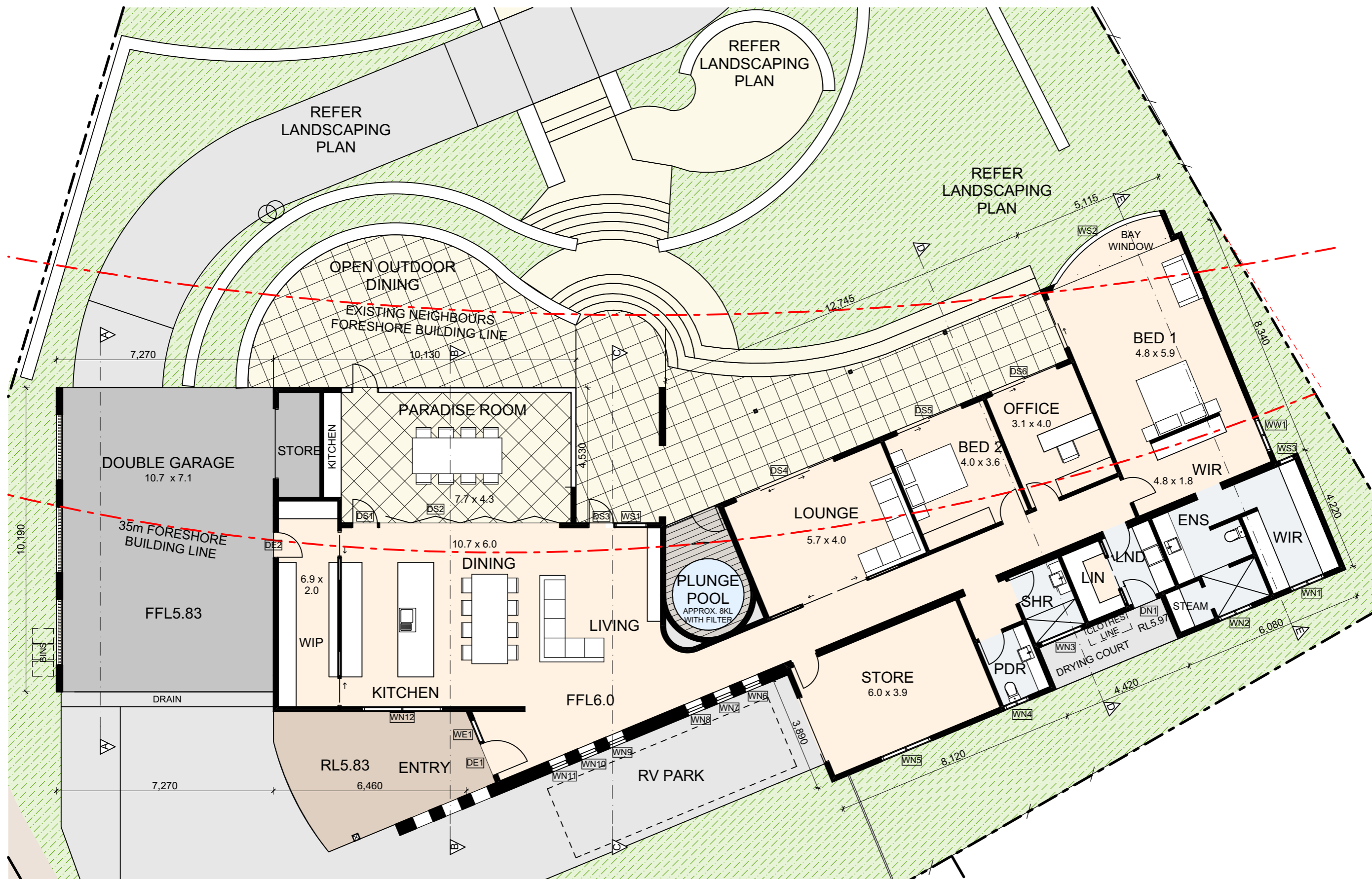
28 The Esplanade
North Arm Cove

Drawing Title

Site Plan

Job Number	Drawing Number	Issue
461	DA02	01

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Ground Floor

SCALE 1:125 @ A3

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01 Issue for Information

30/04/2025

Drawing Title
Floor Plan

Job Number

461

Drawing Number

DA03

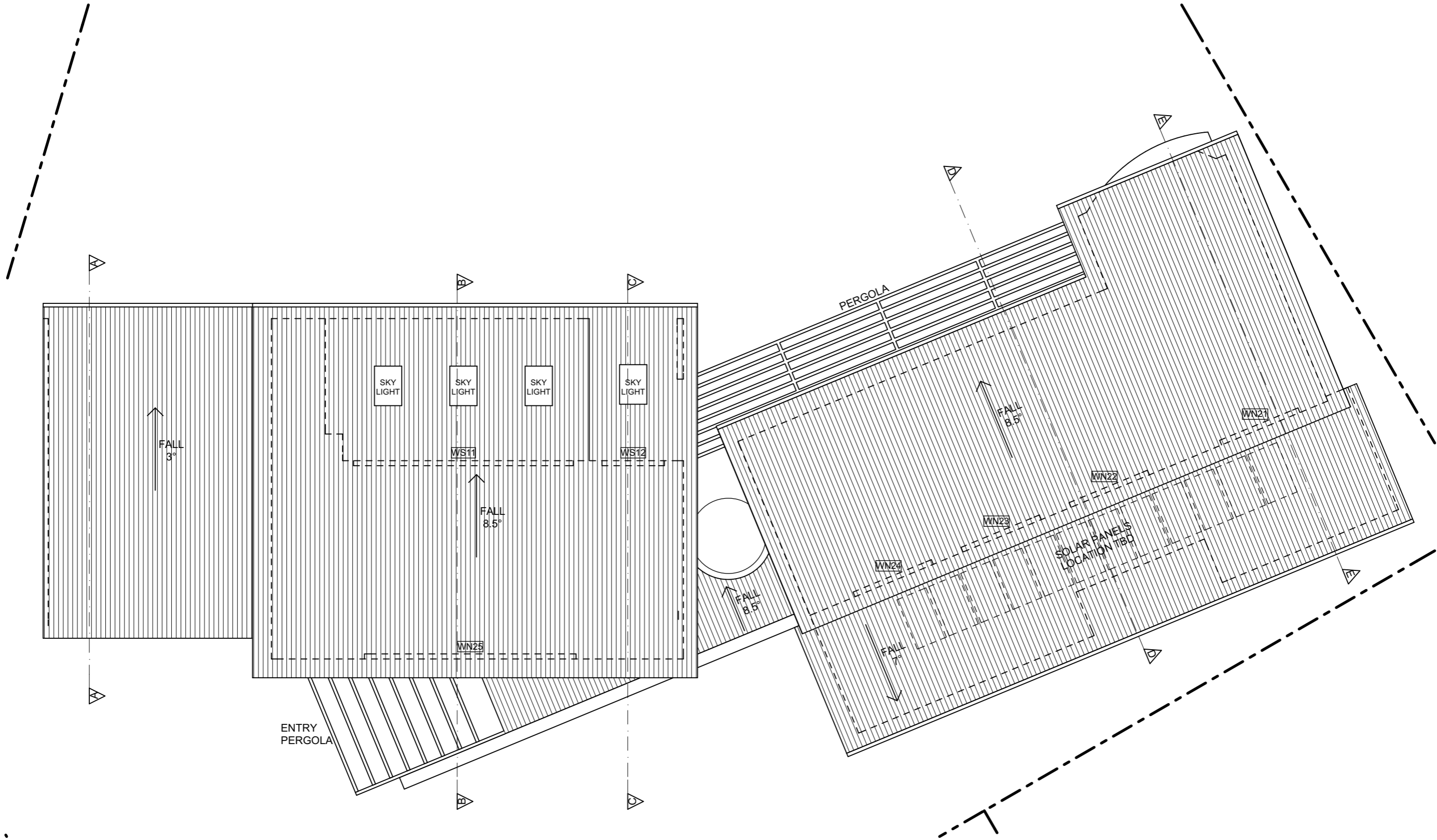
Issue

01

Client
Tracy Norman

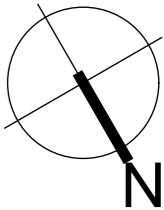
Project
28 The Esplanade
North Arm Cove

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Roof Plan

SCALE 1:125 @ A3



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01 Issue for Information

30/04/2025

Drawing Title
Roof Plan

Job Number
461

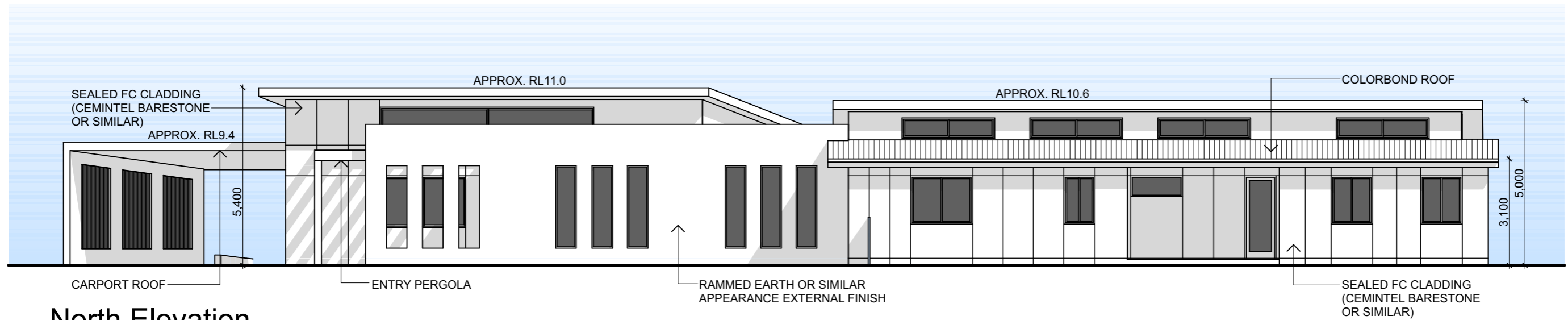
Drawing Number
DA04

Issue
01

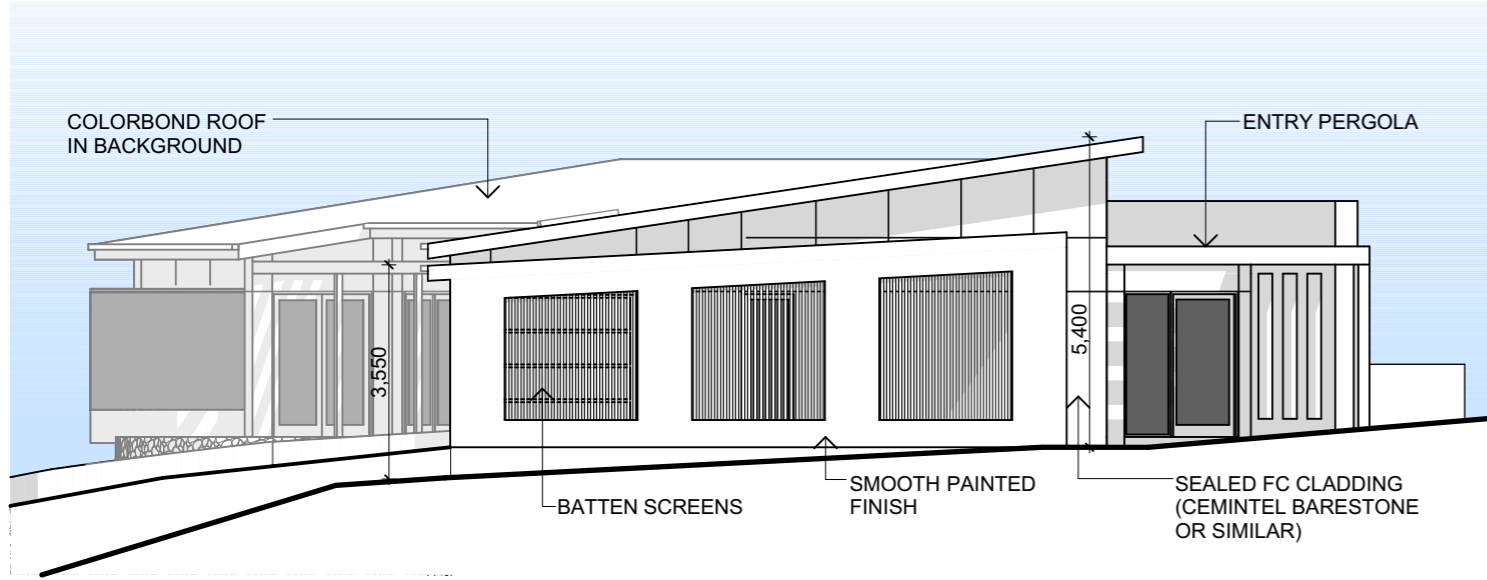
Client
Tracy Norman

Project
28 The Esplanade
North Arm Cove

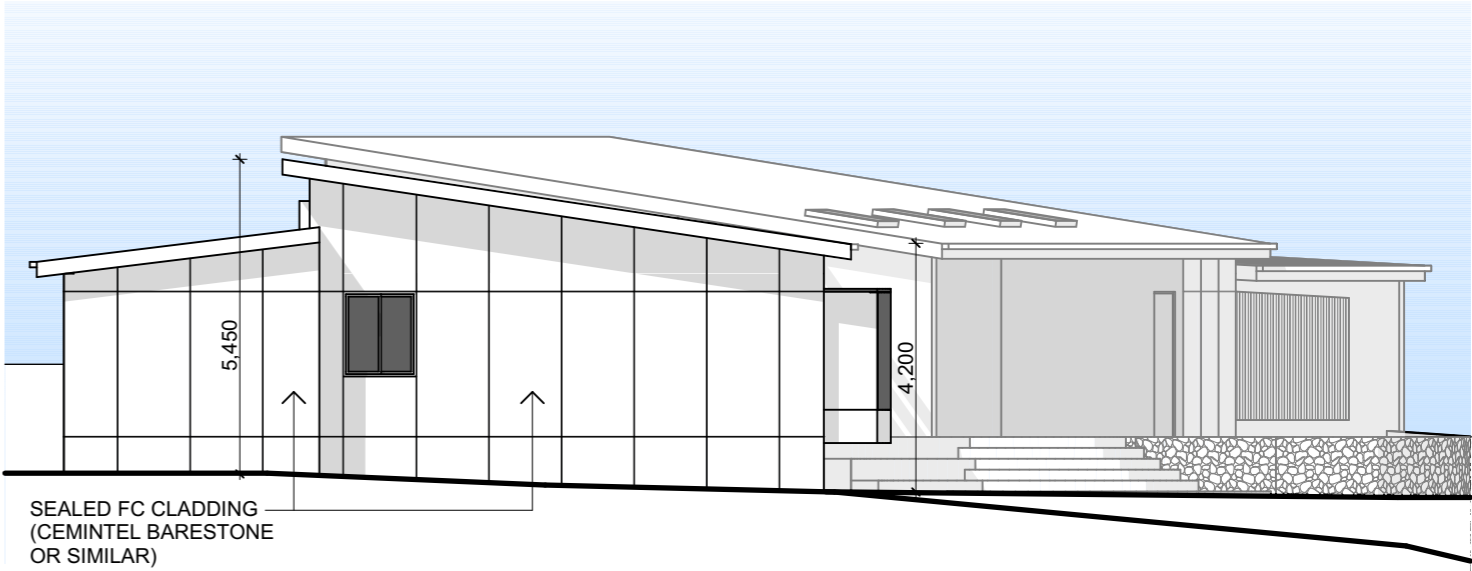
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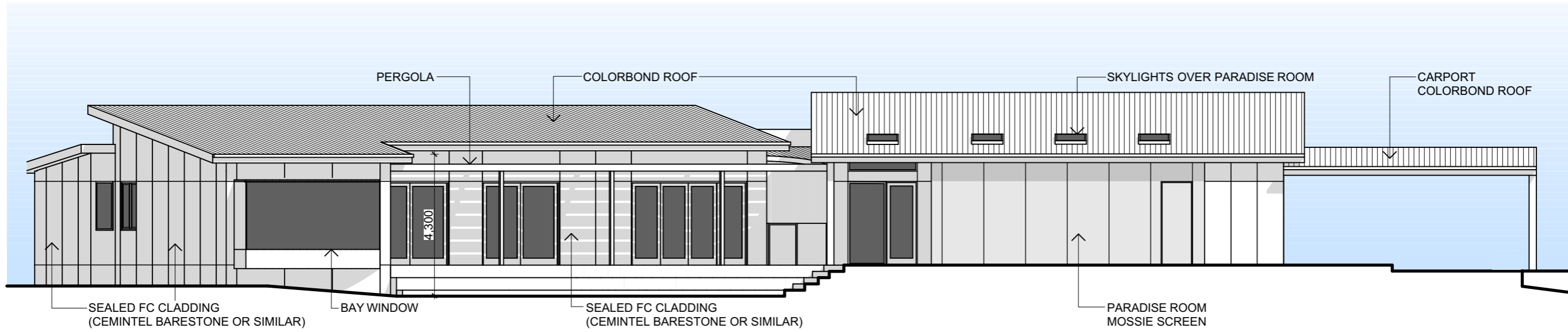
North Elevation
SCALE 1:125 @ A3



East Elevation
SCALE 1:125 @ A3



West Elevation
SCALE 1:125 @ A3



South Elevation
SCALE 1:125 @ A3

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01 Issue for Information

30/04/2025

Drawing Title
Elevations

Job Number
461

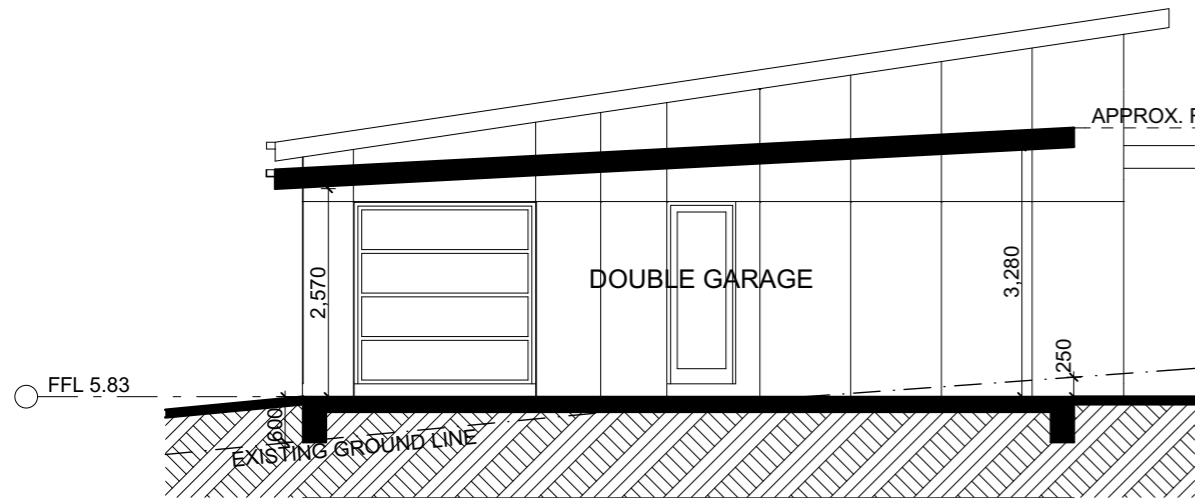
Drawing Number
DA05

Issue
01

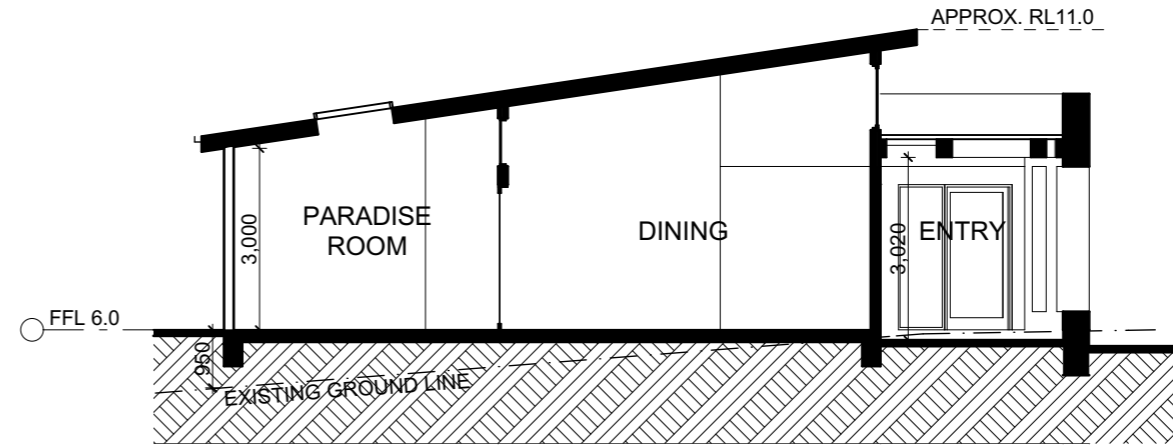
Client
Tracy Norman

Project
28 The Esplanade
North Arm Cove

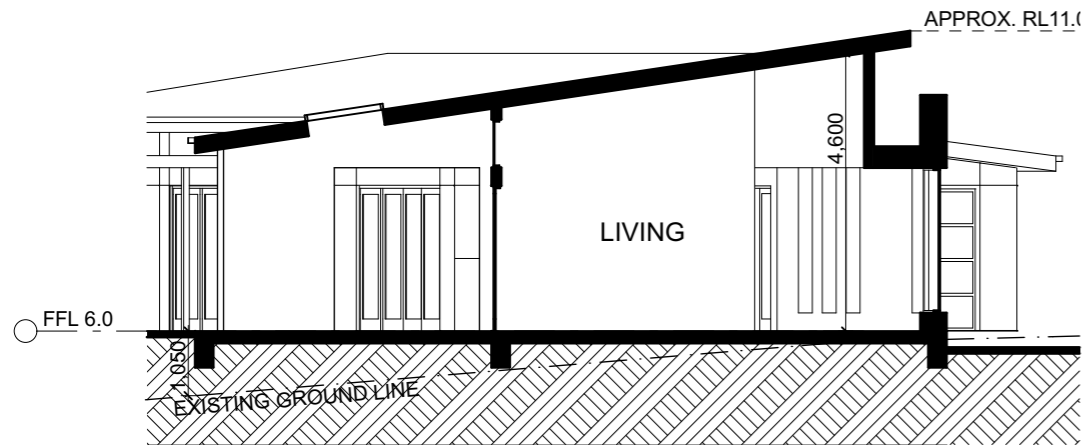
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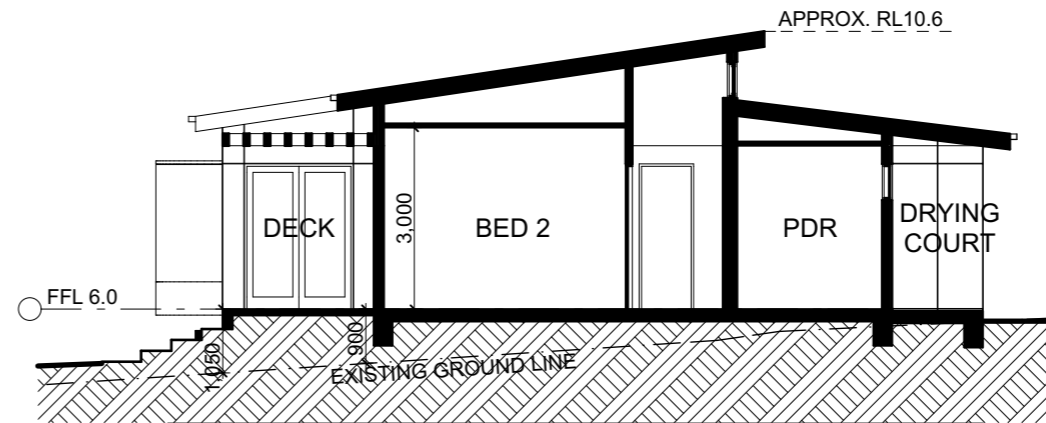
Section AA
SCALE 1:100 @ A3



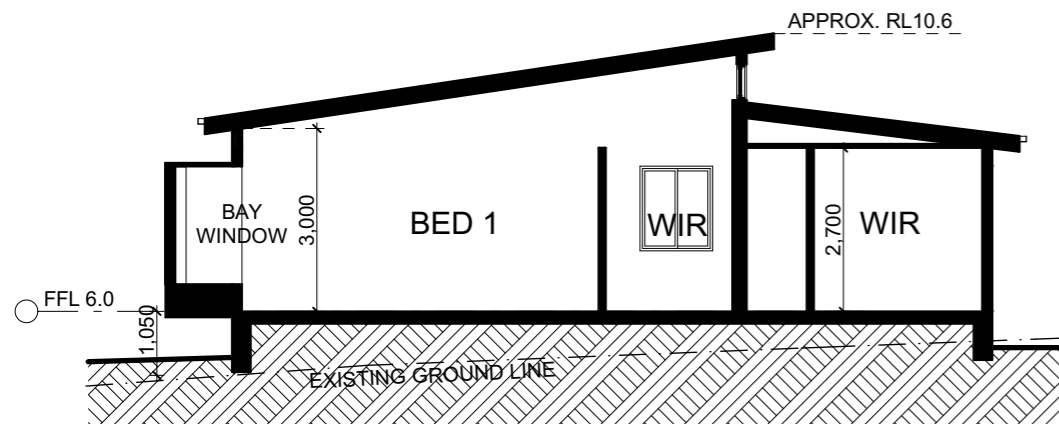
Section BB
SCALE 1:125 @ A3



Section CC
SCALE 1:125 @ A3



Section DD
SCALE 1:125 @ A3



Section EE
SCALE 1:125 @ A3

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01 Issue for Information

30/04/2025

Drawing Title
Sections

Job Number
461

Drawing Number
DA06

Issue
01

Client
Tracy Norman

Project
28 The Esplanade
North Arm Cove

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BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 1791058S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary

Date of issue: Wednesday, 09 April 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	28 The Esplanade, North Arm Cove	
Street address	28 THE ESPLANADE NORTH ARM COVE 2324	
Local Government Area	Mid-Coast Council	
Plan type and plan number	Deposited Plan DP790466	
Lot no.	31	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	3	
Project score		
Water	✔ 57	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 100	Target 69
Materials	✔ -88	Target n/a

Certificate Prepared by

Name / Company Name: The Trustee for Manns and Troup Unit Trust

ABN (if applicable):

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1791058S Wednesday, 09 April 2025 page 1/14

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 473 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)all hot water systems in the development		✓ ✓ ✓ ✓	✓ ✓ ✓ ✓

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Description of project

Project address		Assessor details and thermal loads	
Project name	28 The Esplanade, North Arm Cove	NatHERS assessor number	n/a
Street address	28 THE ESPLANADE NORTH ARM COVE 2324	NatHERS certificate number	n/a
Local Government Area	Mid-Coast Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP790466	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	31	Area adjusted heating load (MJ/m².year)	n/a
Section no.	-	Project score	
Project type		Water	✓ 57 Target 40
Project type	dwelling house (detached)	Thermal Performance	✓ Pass Target Pass
No. of bedrooms	3	Energy	✓ 100 Target 69
Site details		Materials	✓ -88 Target n/a
Site area (m²)	1267		
Roof area (m²)	473		
Conditioned floor area (m²)	284.0		
Unconditioned floor area (m²)	13.0		
Total area of garden and lawn (m²)	650		
Roof area of the existing dwelling (m²)	0		

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Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all indoor cold water taps (not including taps that supply clothes washers) in the developmenta tap that is located within 10 metres of the swimming pool in the development		✓ ✓	✓ ✓
Greywater treatment system			
The applicant must install a greywater treatment system on the site. This system must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓
The applicant must configure the greywater treatment system so that greywater for recycling is collected from: <ul style="list-style-type: none">the laundryeach bathroom (but not the toilets)the entire household		✓ ✓ ✓	✓ ✓ ✓
The applicant must connect the greywater treatment system to: <ul style="list-style-type: none">a sub-surface or non-aerosol irrigation system, or if the greywater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that greywater be used to irrigate edible plants which are consumed raw.)		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 8 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

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01 Issue for Information

30/04/2025

Drawing Title

BASIX Requirements

Job Number

461

Drawing Number

DA11

Issue

01

Client

Tracy Norman

Project

28 The Esplanade
North Arm Cove

Manns
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Thermal Performance and Materials commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method				
General features				
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.		✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.				✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	297	nil;not specified	nil	
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	all external walls	1.70 (or 2.20 including construction);rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall: plasterboard; frame: timber - H2 treated softwood.	220	none	nil	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
The applicant must install at least one ceiling fan in each bedroom.	✓	✓	✓
<ul style="list-style-type: none">The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✓	✓	✓

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Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	473	ceiling: 2.08 (down), roof: foil backed blanket ;ceiling: rockwool batts, roll or pump-in; roof: foil backed blanket.	nil	roof colour: medium (solar absorptance 0.6-0.7); 1.0 to \leq 1.5% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
• Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓
• Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not exceed the height of the battens.	✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
DN1	2400.00	900.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 1500 mm, 250 mm above head of window or glazed door	not overshadowed

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Wednesday, 09 April 2025

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Drawing Title			Client
BASIX Requirements			Tracy Norman
Job Number	Drawing Number	Issue	Project
461	DA12	01	28 The Esplanade North Arm Cove



Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
WN1	1400.00	1200.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 250 mm above head of window or glazed door	not overshadowed
WN2	1400.00	1200.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 250 mm above head of window or glazed door	not overshadowed
WN3	600.00	1500.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 1500 mm, 250 mm above head of window or glazed door	not overshadowed
WN4	1400.00	900.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 250 mm above head of window or glazed door	not overshadowed
WN5	1400.00	1800.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 250 mm above head of window or glazed door	not overshadowed
WN6	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WN7	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WN8	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WN9	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WN10	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WN11	2400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed

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Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
WN12	1500.00	2700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 2200 mm above head of window or glazed door	2-4 m high, 2-5 m away
WN21	600.00	2700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
WN22	600.00	2700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
WN23	600.00	2700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
WN24	600.00	2700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
WN25	1100.00	6700.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
East facing					
DE2	2400.00	1200.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	2-4 m high, 5-8 m away
WE1	2400.00	850.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	pergola (fixed battens) 4000 mm, 300 mm above head of window or glazed door	not overshadowed
DE1	2400.00	900.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	pergola (fixed battens) 4000 mm, 300 mm above head of window or glazed door	not overshadowed
South facing					
DS1	2400.00	900.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 550 mm above head of window or glazed door	not overshadowed

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Version: 4.03 / EUCALYPTUS_03_01_0

Certificate No.: 1791058S

Wednesday, 09 April 2025

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Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
DS2	2400.00	6100.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 550 mm above head of window or glazed door	not overshadowed
DS3	2400.00	900.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 550 mm above head of window or glazed door	not overshadowed
DS4	2400.00	3600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 850 mm above head of window or glazed door	not overshadowed
DS5	2400.00	2400.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 850 mm above head of window or glazed door	not overshadowed
DS6	2400.00	2400.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 600 mm, 850 mm above head of window or glazed door	not overshadowed
WS1	2400.00	1100.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 550 mm above head of window or glazed door	not overshadowed
WS2	2400.00	4000.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WS3	1400.00	600.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed
WS11	800.00	7000.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 0 mm above head of window or glazed door	not overshadowed
WS12	800.00	2000.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	eave 4500 mm, 0 mm above head of window or glazed door	not overshadowed
West facing					
WW1	1400.00	1200.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.40 - 0.49)	none	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 5 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

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01 Issue for Information

30/04/2025

Drawing Title

BASIX Requirements

Job Number

461

Drawing Number

DA13

Issue

01

Client

Tracy Norman

Project

28 The Esplanade
North Arm Cove



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): no heating		✔	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 5 stars.		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovolatic system must consist of: <ul style="list-style-type: none">photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing north	✔	✔	✔
Other			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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Drawing Title			Client
BASIX Requirements			Tracy Norman
Job Number	Drawing Number	Issue	Project
461	DA14	01	28 The Esplanade North Arm Cove



